



Livable Housing NCC 2022

This webinar will start shortly to allow participants to join.



The VBA respectfully acknowledges the Traditional Owners and custodians of the land and water upon which we rely. We pay our respects to their Elders past and present.

We recognise and value the ongoing contribution of Aboriginal people and communities to Victorian life.

We embrace the spirit of reconciliation, working towards equality of outcomes and an equal voice.

Welcome

Today you will hear from:

**Practitioner
Education
Series**



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Senior Technical Advisor

Technical and Regulation - Building



The Victorian Building Authority (VBA) works to ensure the **safety, quality and compliance of building and plumbing work in Victoria** by regulating practitioners under the Building Act 1993.

Our focus is on:

- **enhancing practitioner capability and conduct;**
- **ensuring compliance with standards and**
- **protecting consumer interests.**

Through **education, oversight and enforcement**, the VBA aims to **maintain the integrity of the built environment and contribute to Victoria's economic prosperity.**

Housekeeping



Today's session will be recorded and will be available on the VBA website.



Questions can be submitted via the Q&A function. For any questions that we don't have time to answer during the session, the questions and answers will be emailed to you after the webinar.



We will be conducting live polls today. These will appear on your screen.



This webinar is scheduled to run for 60 minutes, however in some cases we may run over time in order to cover all content.

Webinar questions



We will do our best to answer as many of your questions as we can during the webinar.



However, due to the high volume of questions that we receive, we may not be able to answer your question during the webinar time.



Approximately two weeks after this webinar, you will receive an email with answers to all of the questions that were asked in this webinar.

We thank you for your patience.

Purpose of the webinar

To explore a variety of commonly asked questions regarding the NCC Livable Housing Standard Provisions.



Learning goals

To increase practitioner awareness on how to implement Livable Housing using various examples.



The webinar will cover:

- Application of the Livable Housing Standard
- Dwelling access
- Dwelling entrance
- Internal doors and corridors
- Sanitary compartments
- Reinforcement of bathroom and sanitary compartment walls



Application of the Livable Housing Standard

Applies to

Principal dwellings

Small 2nd dwellings

Class 1a (Dwellings)

Class 2 (SOU within
apartment buildings)



**Livable Housing Standard
comes into effect:
1st May 2024**



VBA Small
Second Homes



Dwelling access



A continuous step-free path to a dwelling entrance door can be provided using the following options:

The pedestrian entry at the allotment boundary, or

An appurtenant Class 10a garage or carport, or

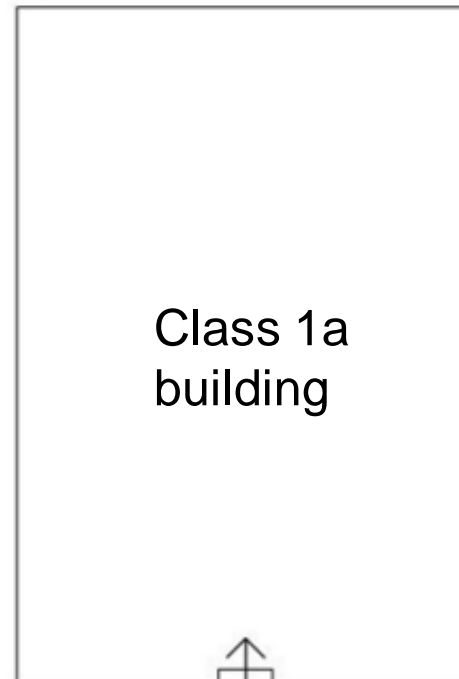
A car parking space provided for the exclusive use of the occupants of the dwelling

and

At least 1 level & step-free entrance door into the dwelling from the access path



Pathway to entrance doorway (step free access path)



Step-free, max
1:14 gradient,
1m wide

LEGEND

Continuous path to dwelling entrance

Allotment boundary

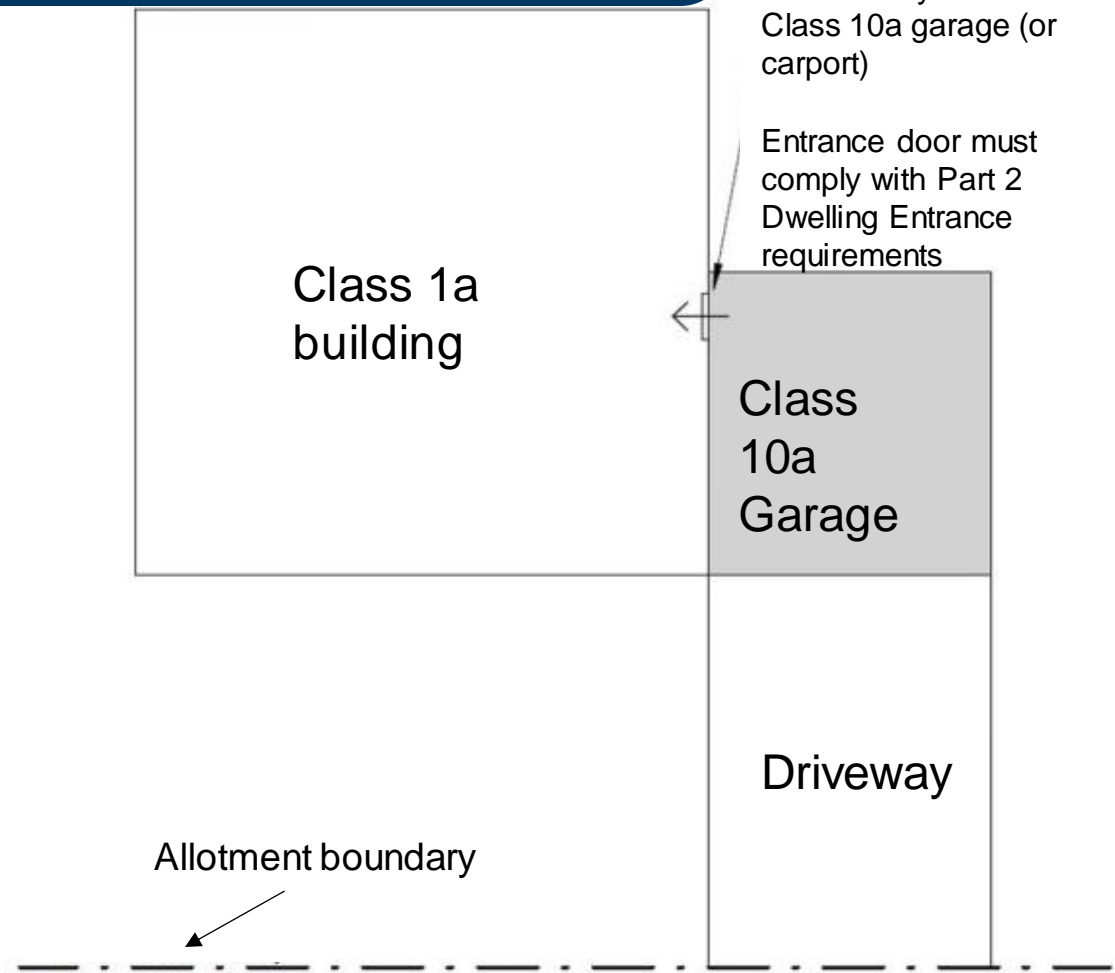
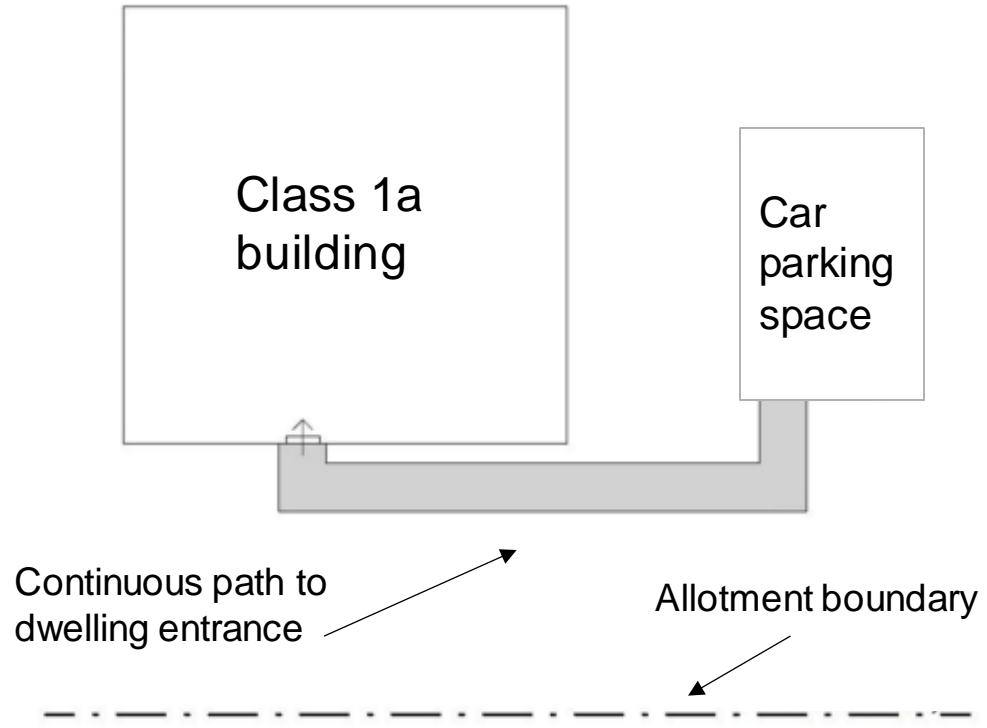
Dwelling Access direct from the garage, carport or dedicated parking space

The pathway can be from an attached garage or carport, via an entrance door

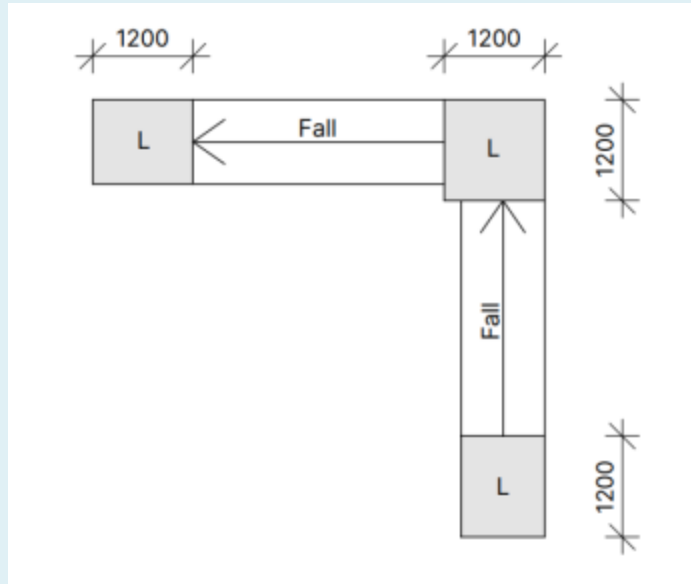
Where an access path is provided from the attached garage or carport, the 'entrance door' is then the doorway connecting the garage or carport to the dwelling.

Access via entrance door directly from Class 10a garage (or carport)

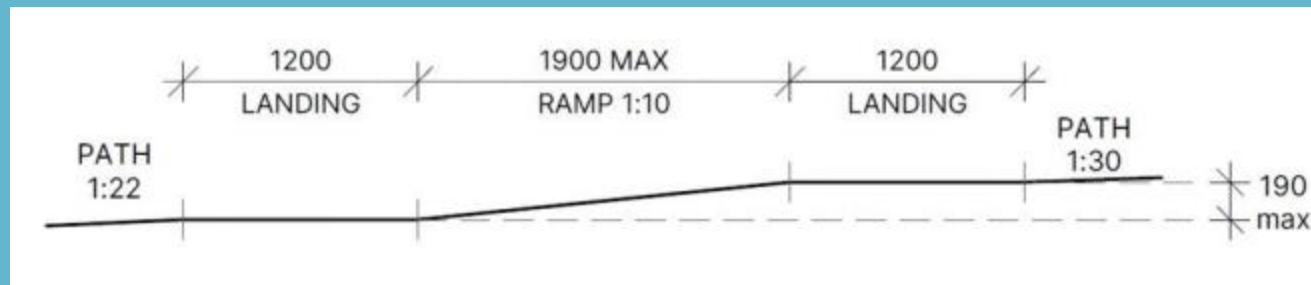
Entrance door must comply with Part 2 Dwelling Entrance requirements



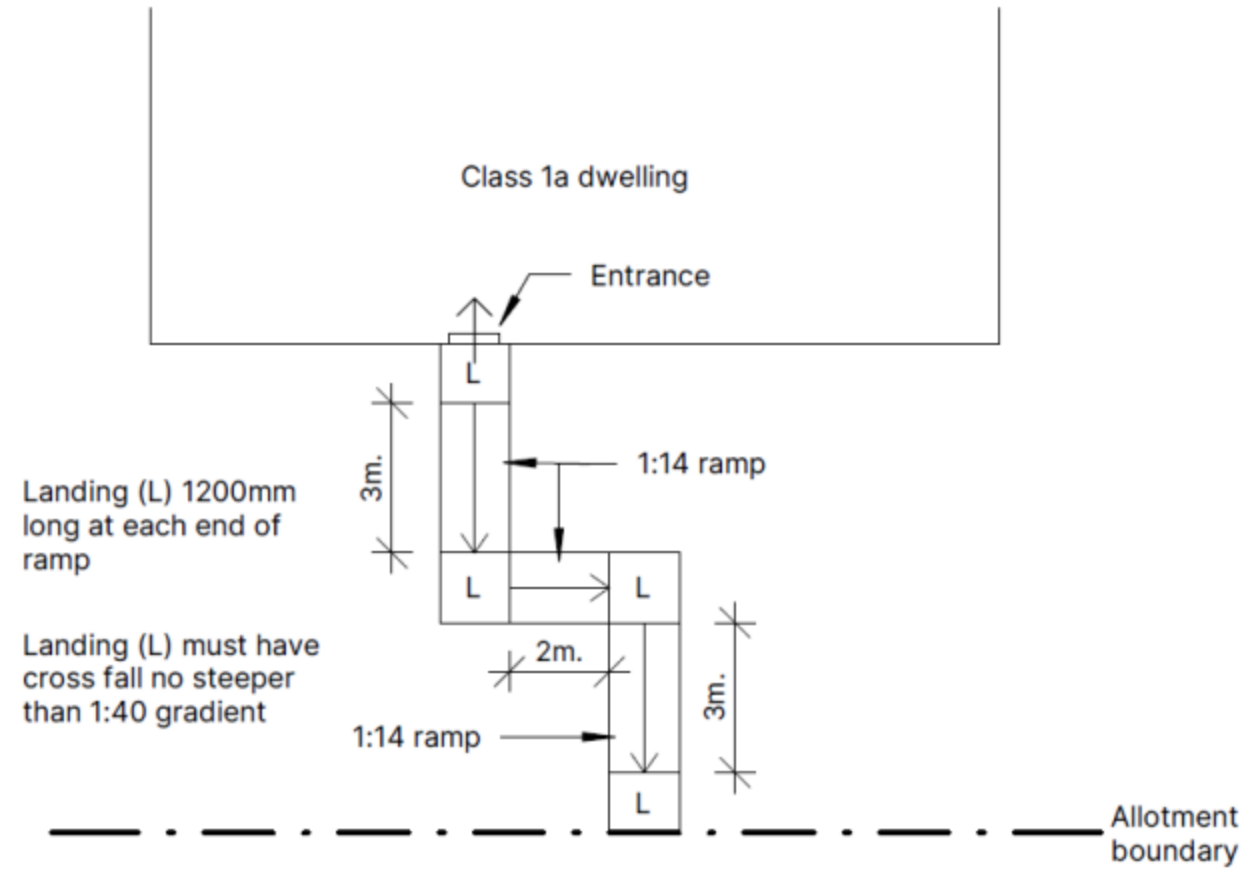
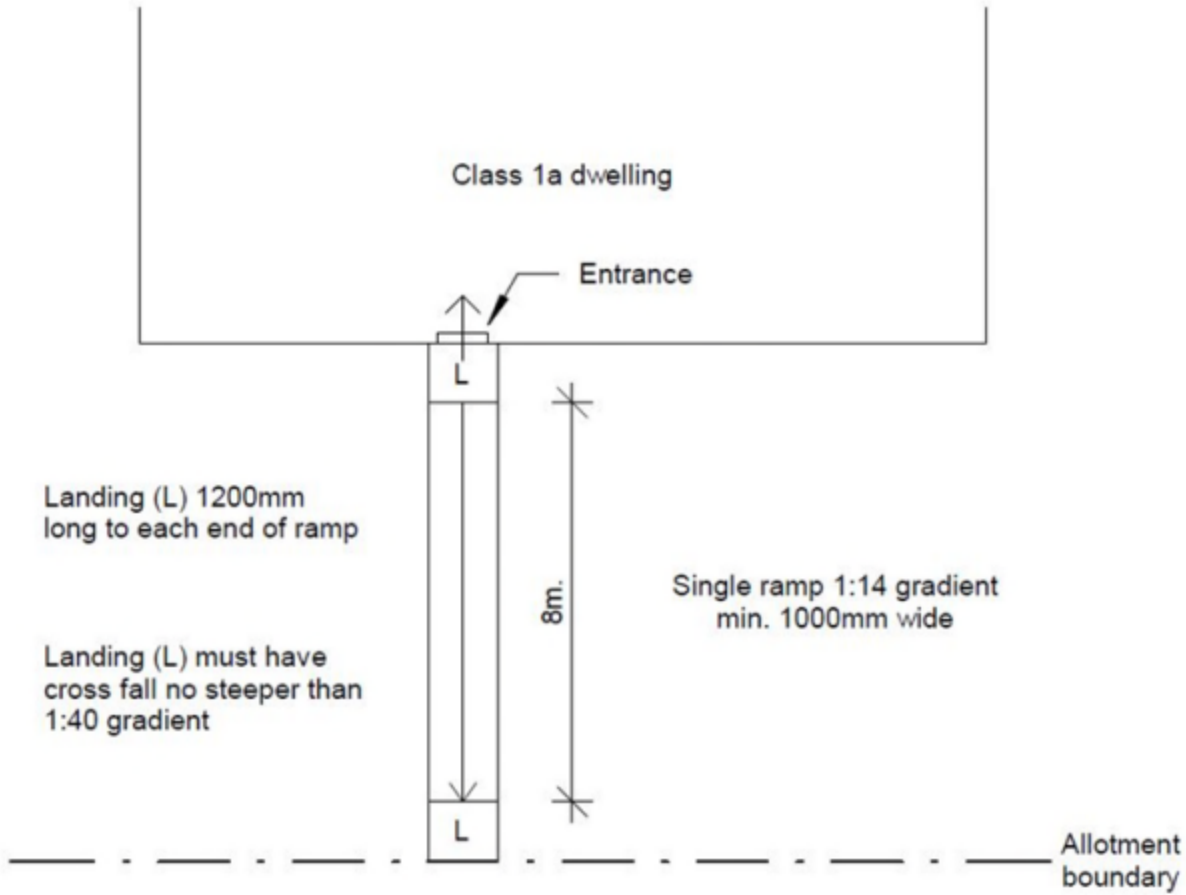
Use of a ramp

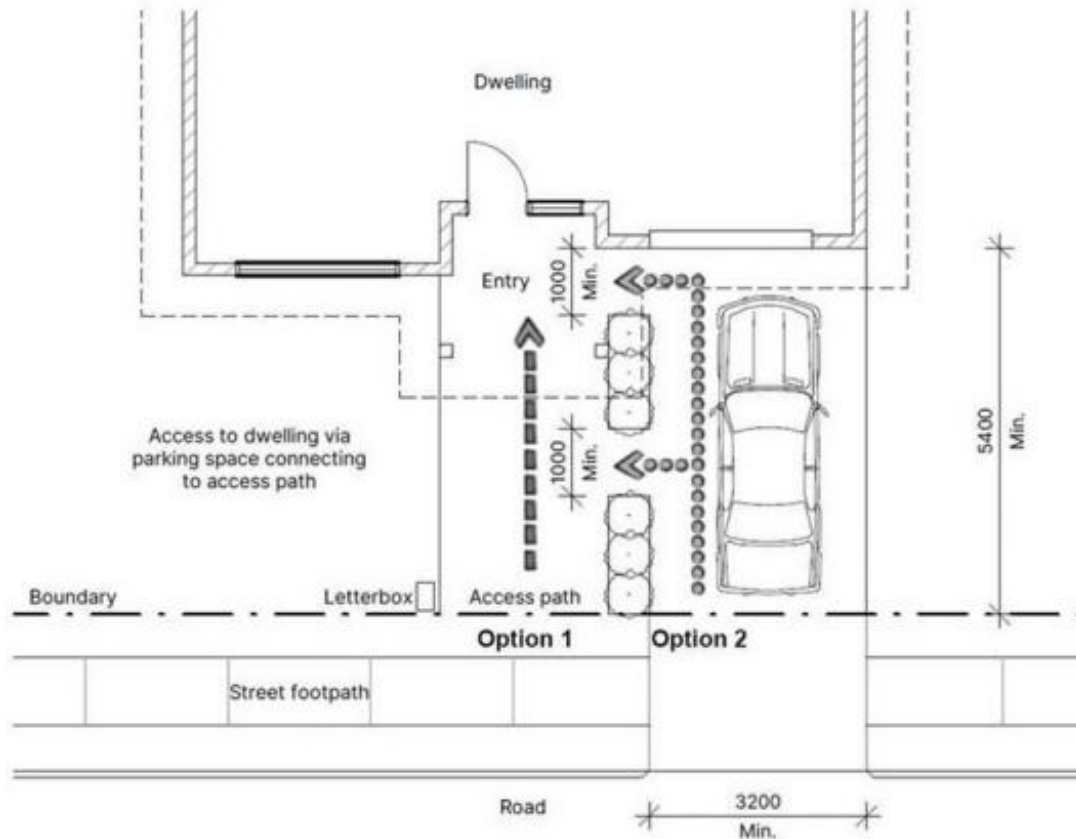


Example of a single step ramp with landing



- Part 1 of the ABCB Standard for Livable Housing Design requires a step-free access path from a parking space or property boundary to the dwelling entry door for a Class 1a.
- Part 1 is not applicable to Class 2 buildings, instead NCC Volume 1, Part D4 Access for people with a disability and AS 1428.1 is applicable





Where one or more car parking spaces are connected to or form part of a required access path, at least one of the car parking spaces must have—

- a minimum unobstructed car parking space of 3200 mm wide x 5400 mm long;
- **and** a gradient not more than 1:33 for bitumen, or 1:40 for any other surface material

Dwelling entrance: termite management

Between access ramp and building a 25mm gap is required (termite management visual inspection zone requirement)

HOWEVER

Gap can be reduced, if, at crossing point of ramp and perimeter termite management system, the system is altered to form a slab joint as specified by Clause 6.3.4 of AS3660.1



Quick quiz

Q1. The standard applies to all parts of a class 2 building?

A: True

B: False

Q2: A continuous step-free path to a dwelling entrance door can only be provided from the pedestrian entry at the allotment boundary

A: True

B: False

Q3: Where a single step ramp is used, the step ramp must have—a height of not more than 190 mm; a gradient not more than 1:10; and a width of at least 1000 mm or equivalent to that of the access path, whichever is the greater; and a maximum length of 1900 mm.

A: True

B: False



Quick quiz

Q1. The standard applies to all parts of a class 2 building?

B: False

Q2: A continuous step-free path to a dwelling entrance door can only be provided from the pedestrian entry at the allotment boundary

B: False

It can also be from the An appurtenant Class 10a garage or carport or a car parking space provided for the exclusive use of the occupants of the dwelling

Q3: Where a single step ramp is used, the step ramp must have—a height of not more than 190 mm; a gradient not more than 1:10; and a width of at least 1000 mm or equivalent to that of the access path, whichever is the greater; and a maximum length of 1900 mm.

A: True



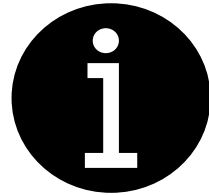
Exemptions from compliance to the dwelling access requirements



Exemptions from compliance to the dwelling access requirements.



**Standard comes into effect:
1st May 2024**

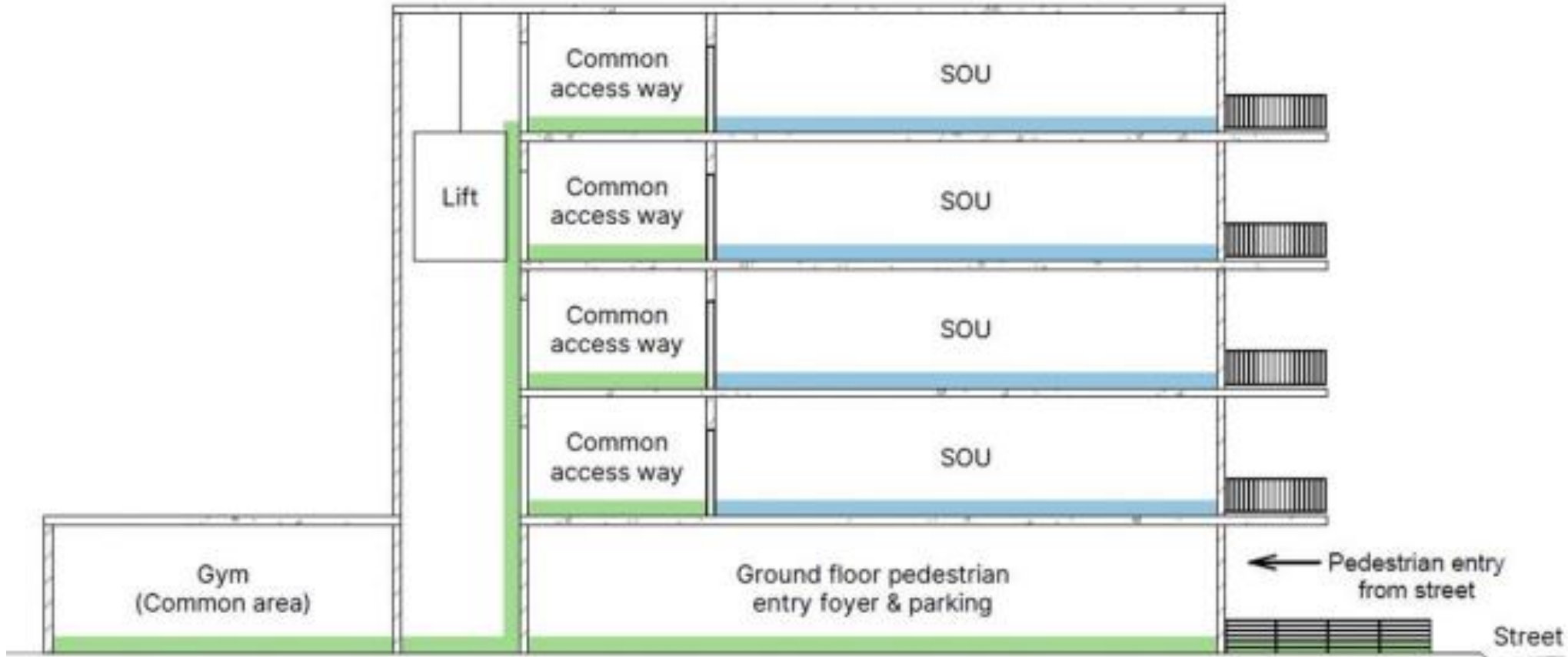


ACBC Livable Housing Design Standard



Class 2 – Requirements

CLASS 2 BUILDING



LEGEND

Green line: NCC Vol. One - Part D4

Blue line: NCC Vol. One - Part G7 Livable Housing Design

SOU: Sole occupancy unit (Apartment)

Dwelling access: Entrance door

Min. 820mm
clear opening

Step-free door
threshold

1200m x
1200mm clear
space

Weather-proof
entry



NCC requirements for Weatherproofing; Damp proof courses and flashings; Termite management

1

Provision of a channel drain

2

DPC / flashings

3

If applicable to termite prone areas, be designed and constructed to enable termite inspection



For **masonry construction**, a **damp-proof course** is to be located above the external finished surface (clause 5.7.4 of the ABCB Housing Provisions).

The construction of a

- ramp,
- threshold or the like

is to maintain compliance with this requirement.

For sites identified as requiring Termite risk management.

Termite inspection zone can be achieved – see **Figure 1**

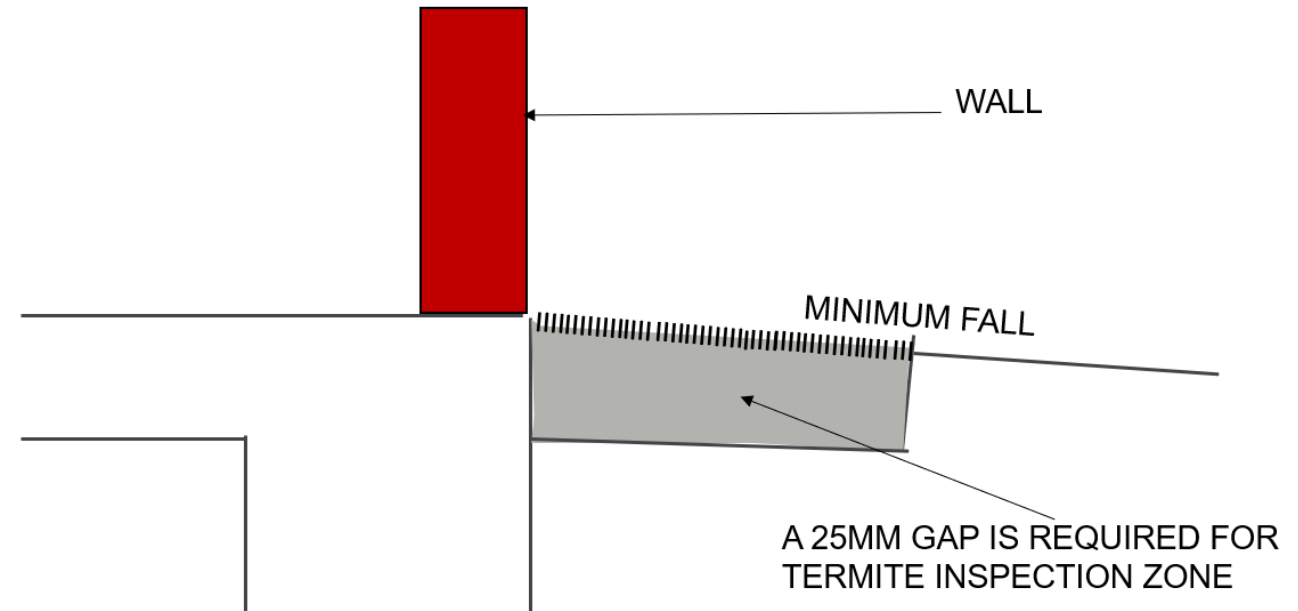


Figure 1: an access path that follows a wall - minimum termite inspection zone requirement.

AS 3660.1 includes solutions for termite management in cases where there is no step-up into a dwelling



See clauses 2.2, 2.3, 4.4 and 6.5

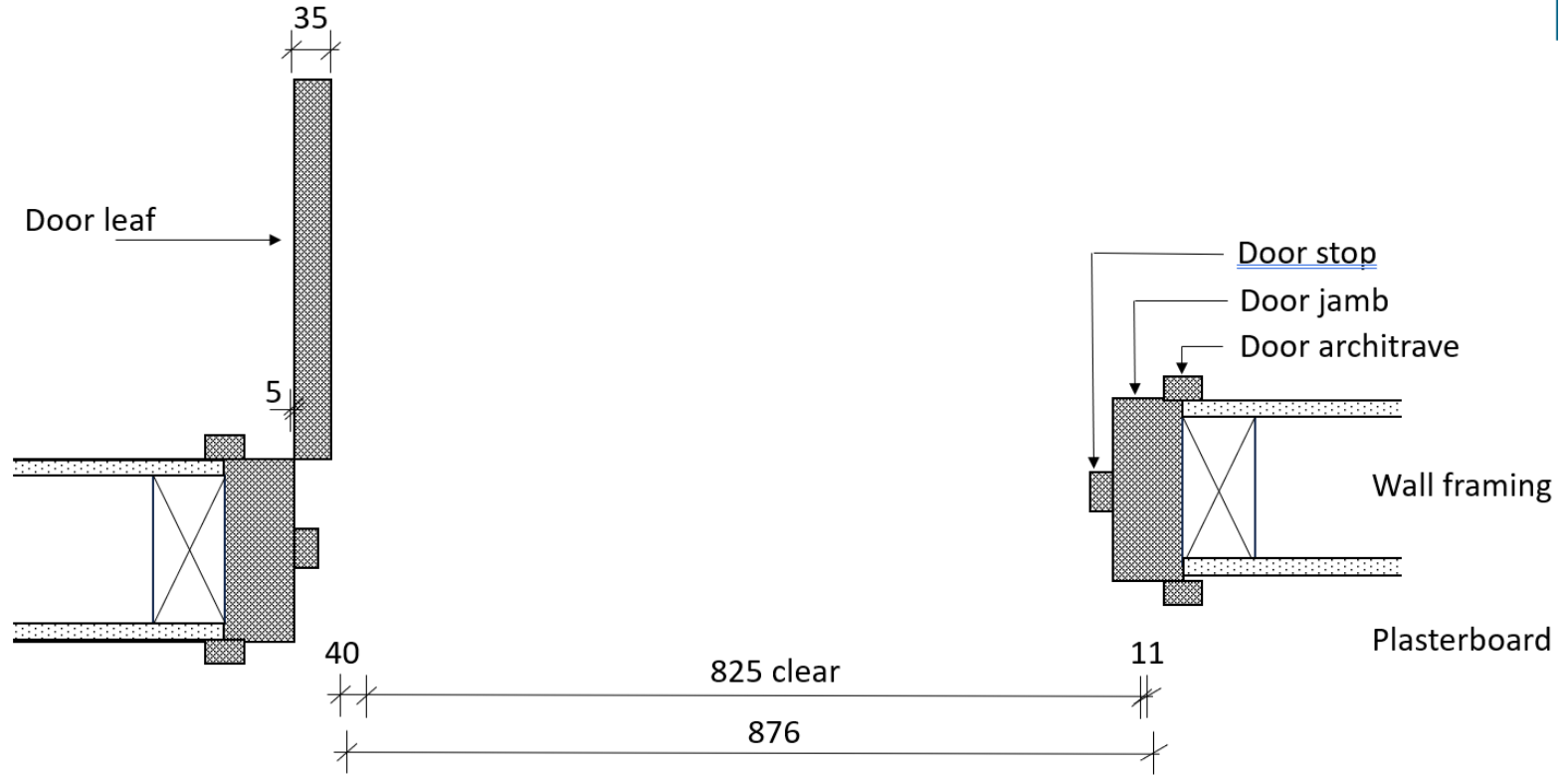
Dwelling: Internal doors and corridors



Internal doorways must have a clear opening width of 820mm

Only applies to a doorway that connects to, or is in the path of travel to, any of the following:

- (a) Habitable room or laundry on the ground or entry level.
- (b) Attached Class 10a garage or carport that forms part of an access path
- (c) Sanitary compartment on the ground or entry level



Internal corridors must have a clear opening width of 1000mm

The threshold must

a. Be level; or

b. have a sill height not more than 5mm if lip is rounded / bevelled; or

c. have a ramped threshold that—

does not extend beyond the depth of the door jamb; and

has a gradient less than 1:8; and

is at least as wide as the minimum clear opening width of the entrance door; and does not intrude into the minimum dimensions of a landing area



Quick quiz

Q1: Exemptions from compliance to the dwelling access requirements mean that all other standard provisions can be ignored?

- A: True
- B: False

Q2: The dwelling entrance door must be at least 820mm clear

- A: True
- B: False

Q3: Internal doorways must have a clear opening width of 820mm, and only apply to a doorway that connects to, or is in the path of travel to, any of the following:

- Habitable room or laundry on the ground or entry level.
- the Attached Class 10a garage or carport that forms part of an access path
- And any Sanitary compartment subject to the provisions on the ground or entry level required to comply.

- A: True
- B: False



Quick quiz

Q1: Exemptions from compliance to the dwelling access requirements mean that all other standard provisions can be ignored?

B: False:

All other relevant requirements of the Standard must still be complied with

Q2: The dwelling entrance door must be at least 820mm clear

A: True

Q3: Internal doorways must have a clear opening width of 820mm, and only apply to a doorway that connects to, or is in the path of travel to, any of the following:

- Habitable room or laundry on the ground or entry level.
- the Attached Class 10a garage or carport that forms part of an access path
- And any Sanitary compartment subject to the provisions on the ground or entry level required to comply.

A: True



Sanitary compartments



Identification of a sanitary compartment

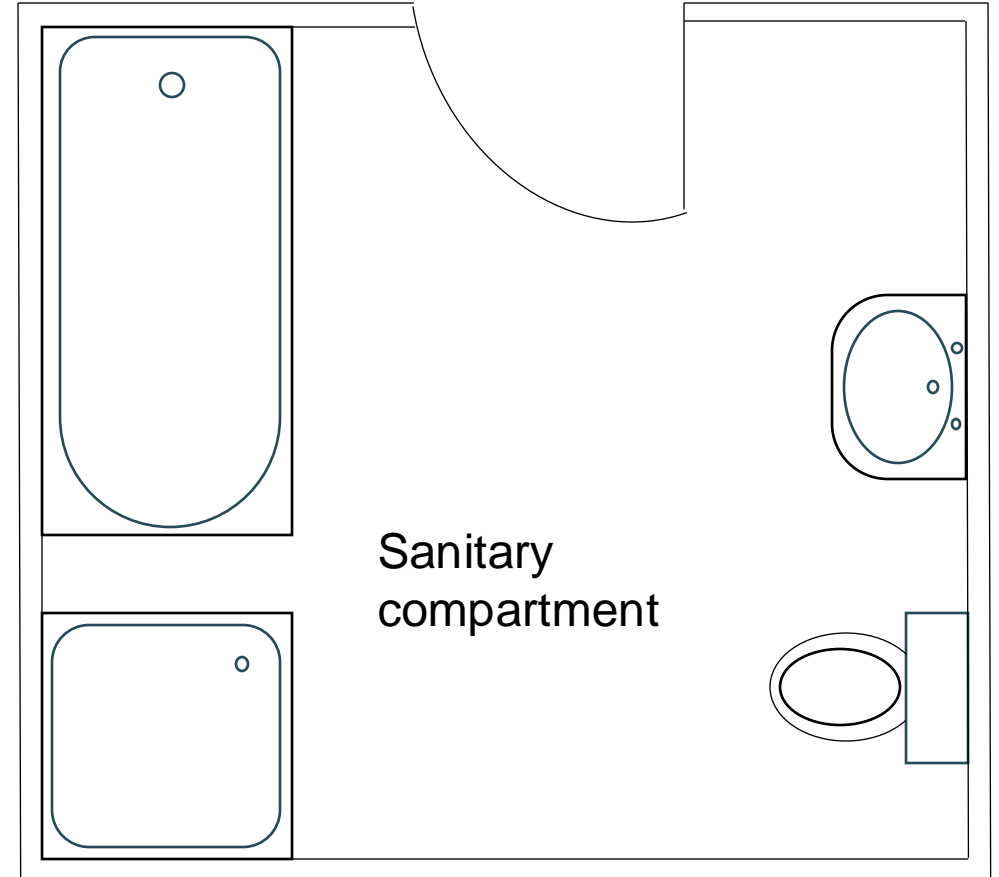
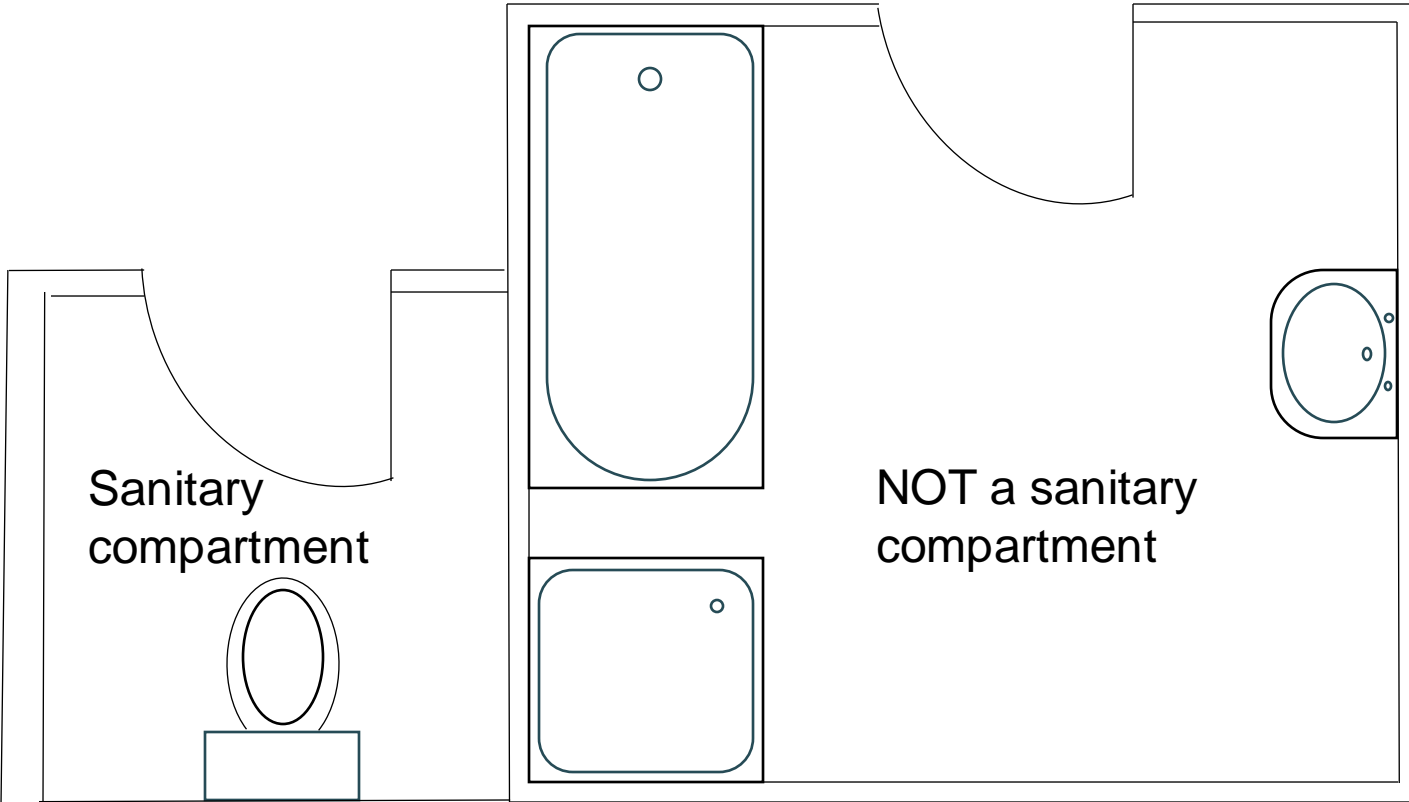
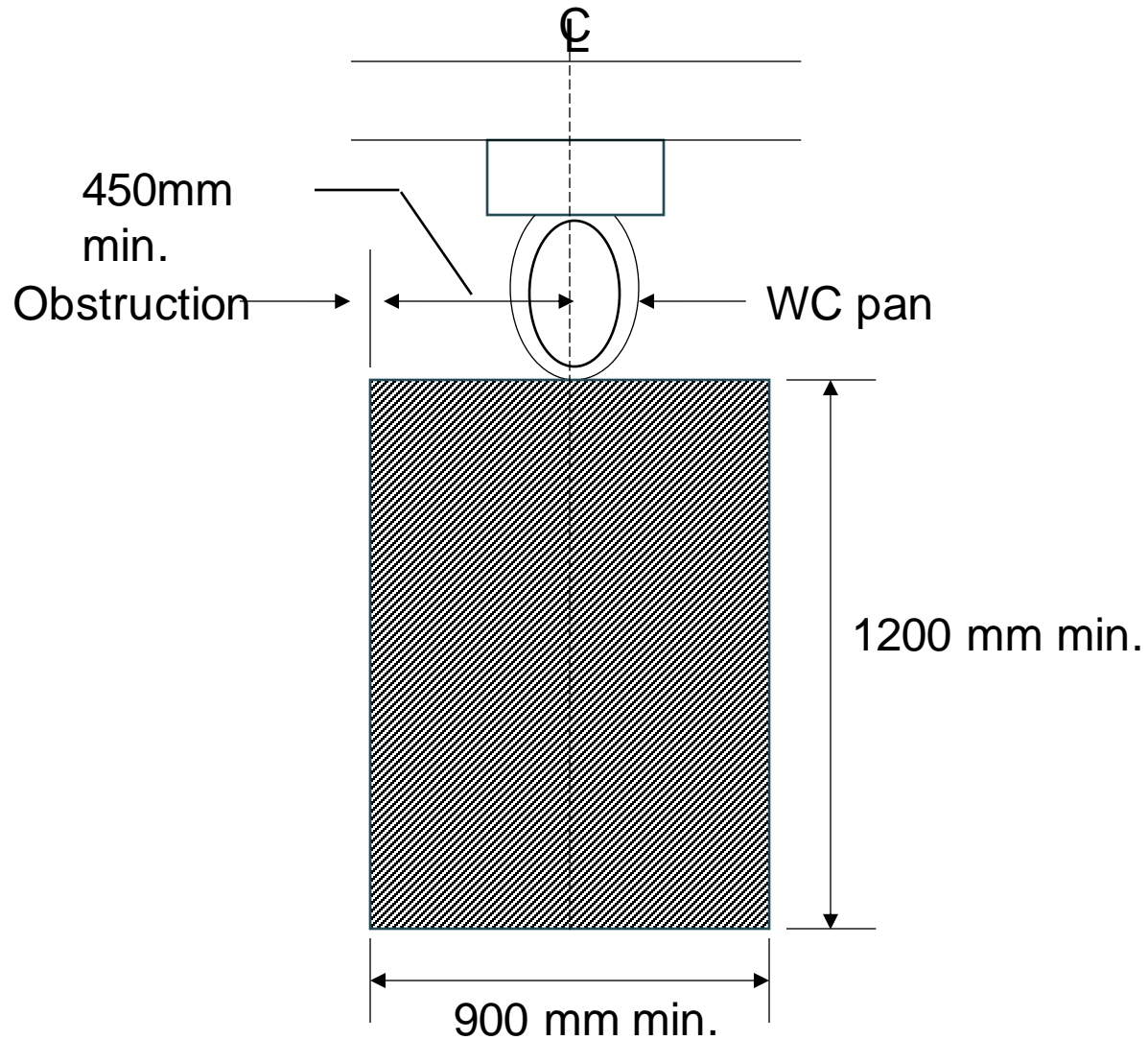


Figure 1a – Sanitary compartment

Figure 1b – NOT a sanitary compartment

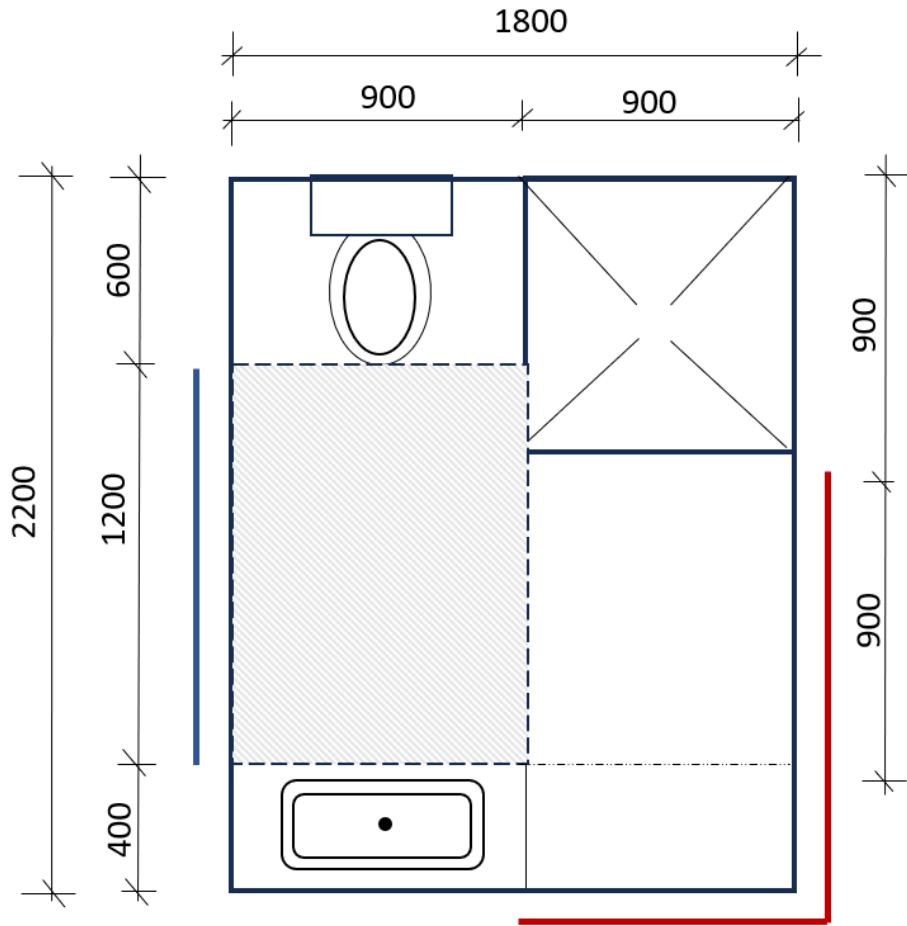
Figure 2 – Sanitary compartment

Circulation space for a toilet pan



Minimum clearance in front of pan
900mm x 1200mm

Bathroom layout example



Example of a bathroom layout that includes the toilet pan circulation requirements

- Any door
- Slider or outward opening door

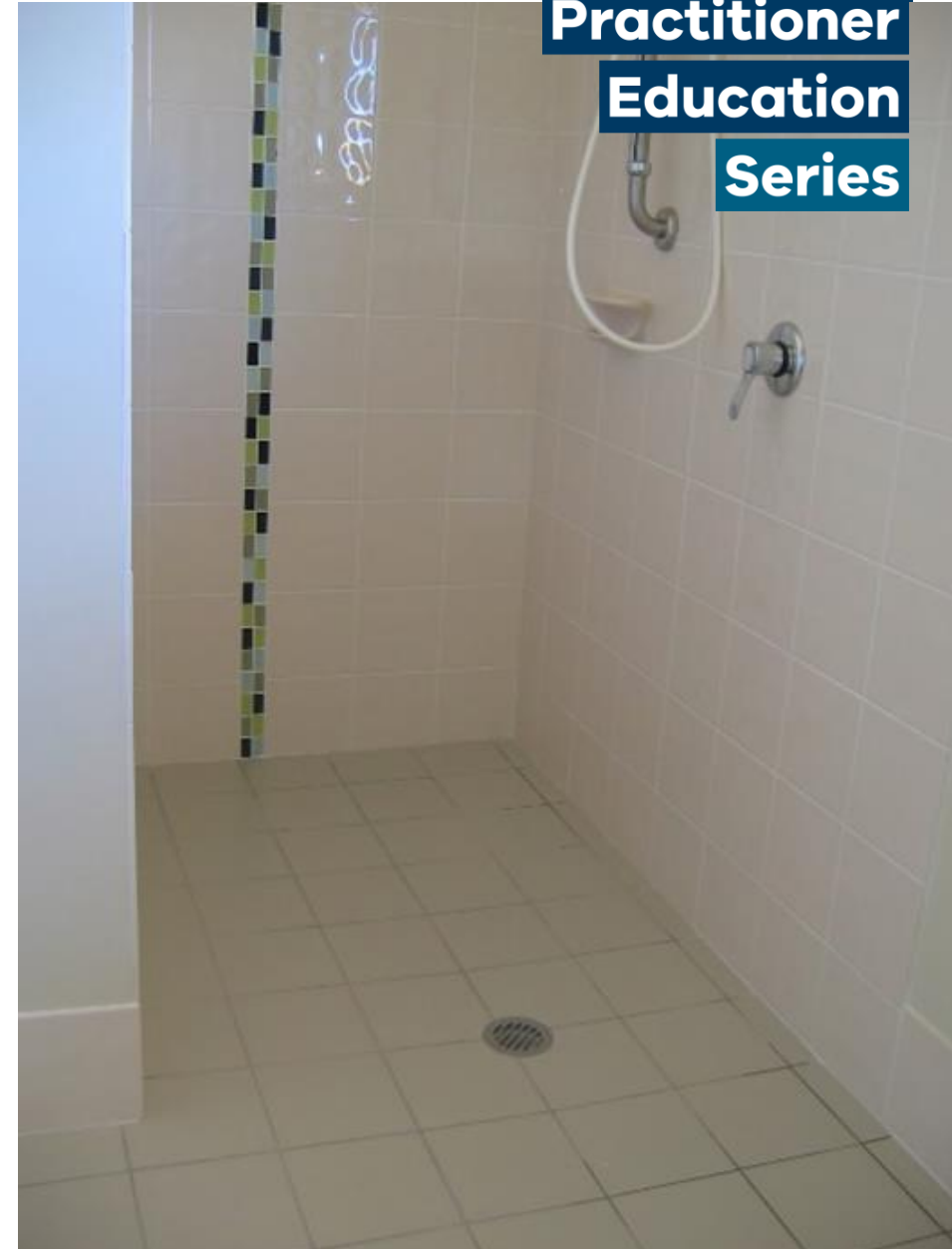
Showers



Shower

To achieve the requirements, the standard requires the shower to:

- Be hob-less
- have a step-free entry
- **and** a lip not more than 5 mm in height



Reinforcement of bathroom and sanitary compartment walls



Sanitary compartments

Reinforcement of bathroom and sanitary compartment walls

Reinforcement of
bathroom and
sanitary compartment
walls

to ensure that certain walls adjacent
to showers, toilets and baths can
support future installation of grabrails.

NOTE

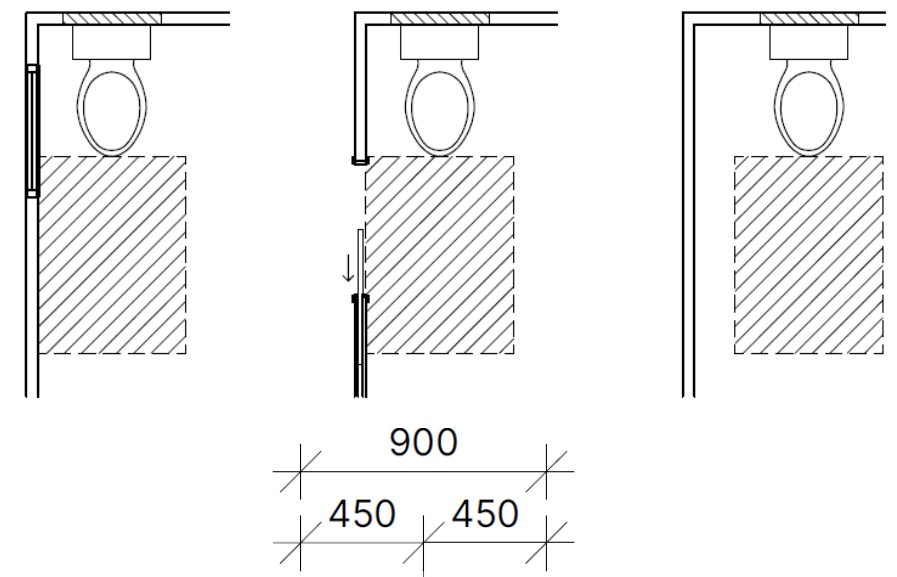
Wall Reinforcement is not required if the walls are constructed of concrete, masonry or other material capable of supporting a grab rail

Reinforcement only applies to sanitary compartments or bathrooms subject to the requirements

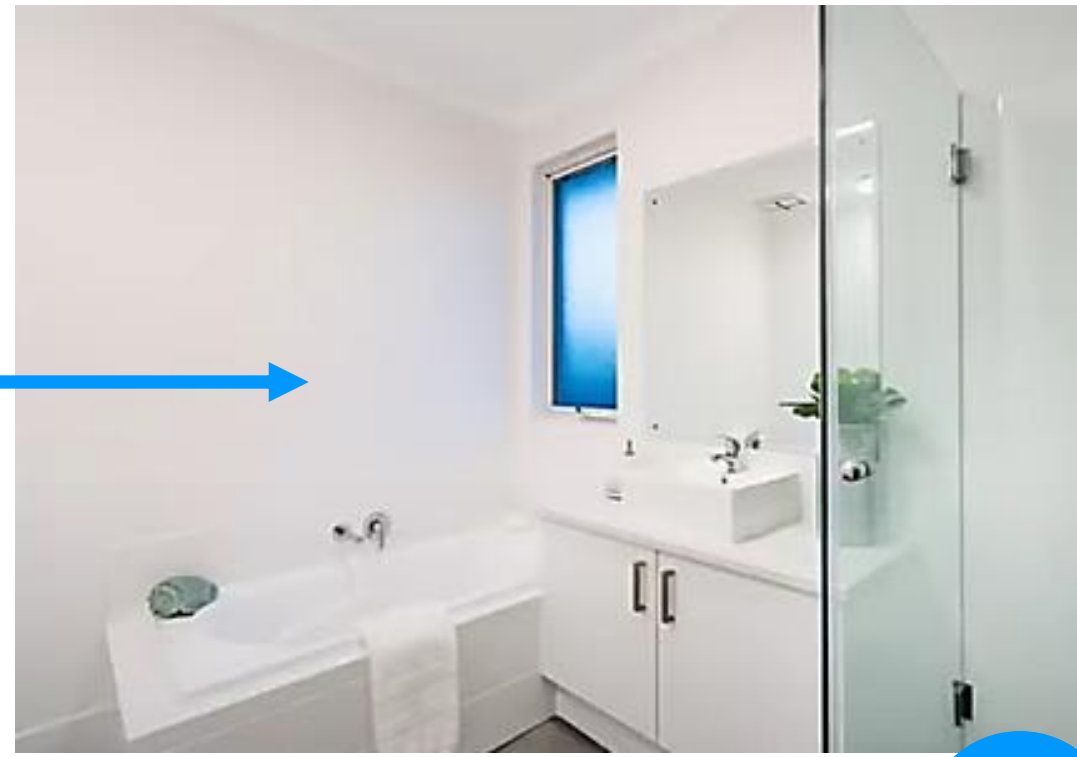
There is no requirement to install the actual grabrail, the reinforcement only applies to the wall

Examples of reinforcing the wall

Reinforcement only required to the available width of the wall or where a window encroaches the reinforcement zone.



A nogging (or other reinforcement (sheet) can still be installed on the side wall



Free-standing baths are excluded, (there is no maximum or minimum dimension for the free-standing bath from the wall).

Quick quiz

Q1: A clear minimum circulation space of 1200 mm by 900 mm must be provided from the front edge of the toilet pan?

A: True

B: False

Q2: Wall Reinforcement is not required if the walls are constructed of: concrete, masonry or other material capable of supporting a grabrail?

A: True

B: False



Quick quiz

Q1: A clear minimum circulation space of 1200 mm by 900 mm must be provided from the front edge of the toilet pan?

A. True

Q2: Wall Reinforcement is not required if the walls are constructed of: concrete, masonry or other material capable of supporting a grabrail?

A. True



Conclusion

In this session we've looked at applying and achieving compliance with the Livable Housing NCC 2022 in various contexts

We hope that you have increased your knowledge of various provisions related to commonly asked questions regarding the Livable Housing Standard.



Q & A



Pre-submitted questions

Q1. In the case of alterations to an existing building, can consent to partial compliance be applied?

Q2. Can this part of the BCA 2022 be subject to section 10 of the Act when the design has been completed prior to 1 May 2024?



Thank you!

After this webinar:

Later today

We'd love your feedback!

You'll receive an email with a quick survey

You'll receive your attendance certificate via email

In approximately 2 weeks

You'll receive an email with the answers to all of today's questions that we didn't get to, as well as those that we did

Practitioner

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